

Graham Boase
Head of Planning & Public Protection
Denbighshire County Council
Caledfryn
Smithfield Road
Denbigh
Denbighshire LL16 3RJ

Tel: 01824 706800 Fax: 01824 706709

Heading:

03/2013/1355/PF
River Lodge Site
Mill Street, Llangollen



Application Site

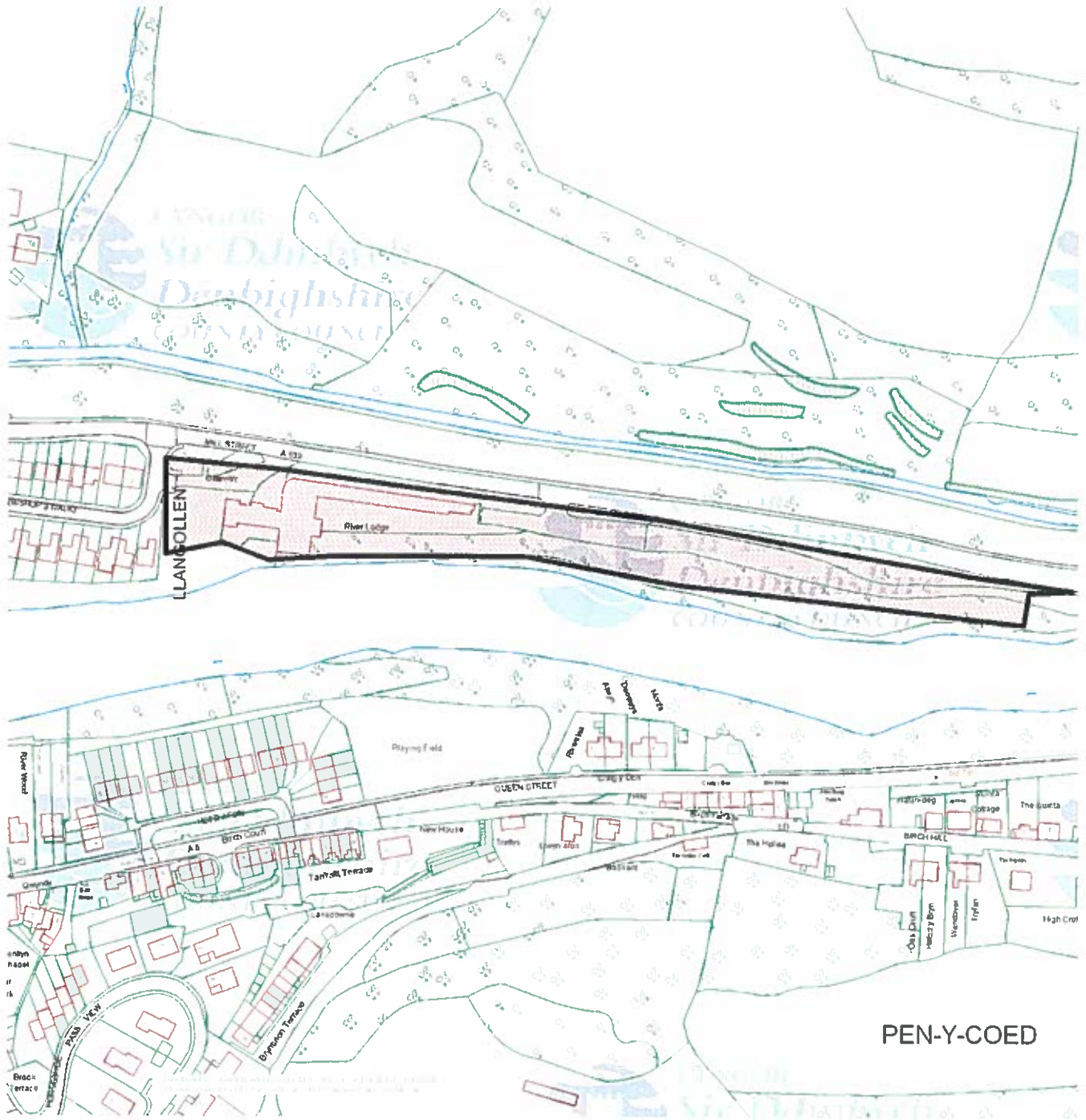
Date 3/2/2014

Scale 1/2500

Centre = 322160 E 342043 N



This plan is intended solely to give an indication of the LOCATION of the application site which forms the subject of the accompanying report. It does not form any part of the application documents, and should not be taken as representative of the proposals to be considered, which are available for inspection prior to the meeting.



This map is reproduced from Ordnance Survey material with the permission of Ordnance Survey on behalf of the Controller of Her Majesty's Stationery Office.
© Crown copyright. Unauthorized reproduction infringes Crown copyright and may lead to prosecution or civil proceedings. Denbighshire County Council 100023408. 2011

Atgynhychir y map hwn o ddeunydd yr Ordnance Survey gyda chaniatâd yr Ordnance Survey ar ran Rheolwr Llyfrfa Eî Mawrhydi
© Hawffraint y Goron. Mae atgynhychu heb ganiatâd yn torn hawffraint y Goron a gall hyn arwain at erlyniad neu achos sifil. Cyngor Sir Ddinbych 100023408 2011.

SITE PLAN

General Notes

1. Contractor to verify all dimensions and check level returns on site
2. All of the designs are the sole property of TACP Architects Ltd and may not be used without their written agreement
3. All panels, handrails and their copyright are the property of TACP Architects Ltd
4. Do not scale off drawings
5. All dimensions shall be checked on site before commencement of the drawings. Manufacturer for the road signs must be reported to TACP Architects Ltd

KEY

- Existing trees to be removed
- Existing trees to be retained
- Existing zones of small trees to be removed

Abb. Requirements

Rev.	Date	Description	By	Checked
A	17.04.13	Staff parking provision increased from 20 to 25 subject to planning consent	MAJ	ST
B	15.05.13	Revisions to drawings 1 to 10	MAJ	ST
C	17.05.13	Site Plan and floor submitted to Planning Dept Surrey	MAJ	ST
D	21.06.13	Existing trees to be removed marked	MAJ	ST
E	21.06.13	Site layout re-drawn	MAJ	ST
F	2.10.13	Site layout re-drawn	MAJ	ST
G	15.10.13	Updated and issued for 3-4-100 Purpose	MAJ	ST
H	21.10.13	Updated with planning officer comments	MAJ	ST
I	19.11.13	Car parking spaces 25. To include 8 verges to road reserved	MAJ	ST

Consultants

Client

Betsi Cadwaladr University Health Board

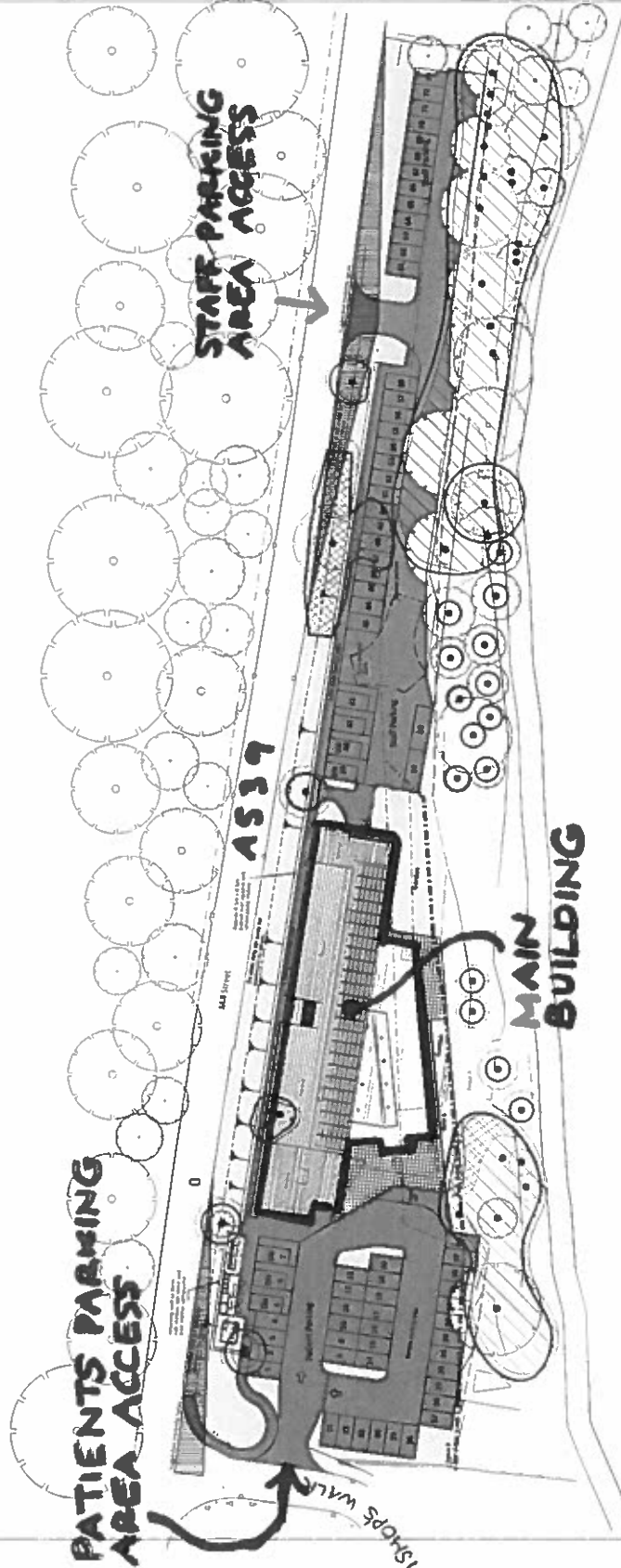
Project Site
Langollen Medical Centre, River Lodge Site, Mill Street

Proposed Site Plan

Scale	Date	Drawn by	Checked by	Office
1:500@A2	Jan 2013	ST	MG	Wrexham

Job Number	Drawing Number	Revision
12036	5101	1

TACP Architects Ltd
2179 Grosvenor Road
43111 10th
T 01928 291161
F 01928 333715
E admin@tacaparchitects.co.uk
www.tacaparchitects.co.uk



Irrespective of the material used, the retaining wall shall be constructed with a minimum height of 1.2m. The wall shall be finished with a smooth surface and shall be painted to match the surrounding environment.

Irrespective of the material used, the retaining wall shall be constructed with a minimum height of 1.2m. The wall shall be finished with a smooth surface and shall be painted to match the surrounding environment.

Soft landscaping refer to landscape drawings and specification
With concrete pin kerb edgings

Farmic roadways and pathways
Concrete kerbing to be prepared to car park and road area
Concrete pin kerbs to all pavements and parking areas

Paving area: Marshalls Meterolena or similar
With concrete pin kerb edging

Indication of route of existing rising main
Indication of route of diverged rising main easement (3m to each side)
Indication of route of diverged rising main

Proposed 1200 high fence type A and matching gate

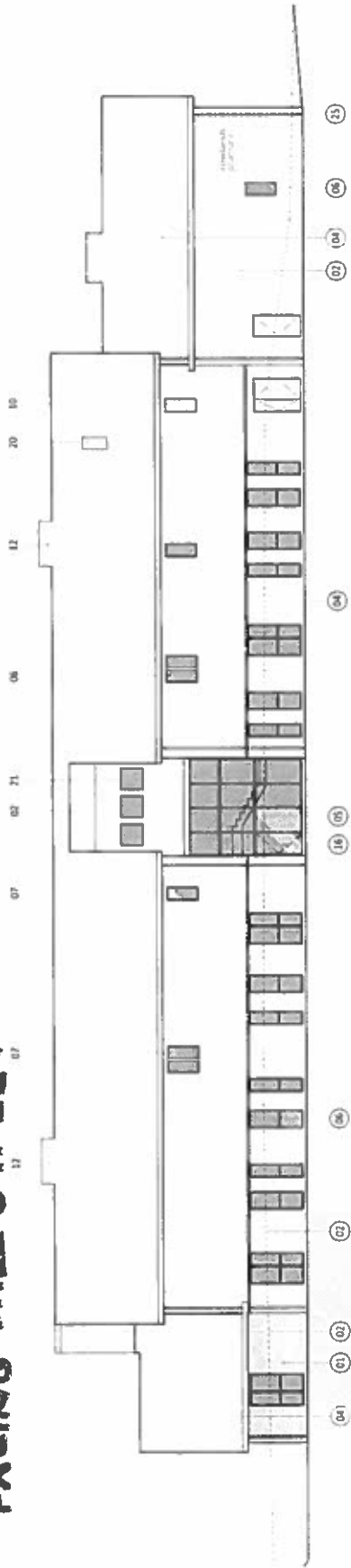
Proposed 1500 high fence type B

Proposed 1500 high screenance type C to compound with matching gates



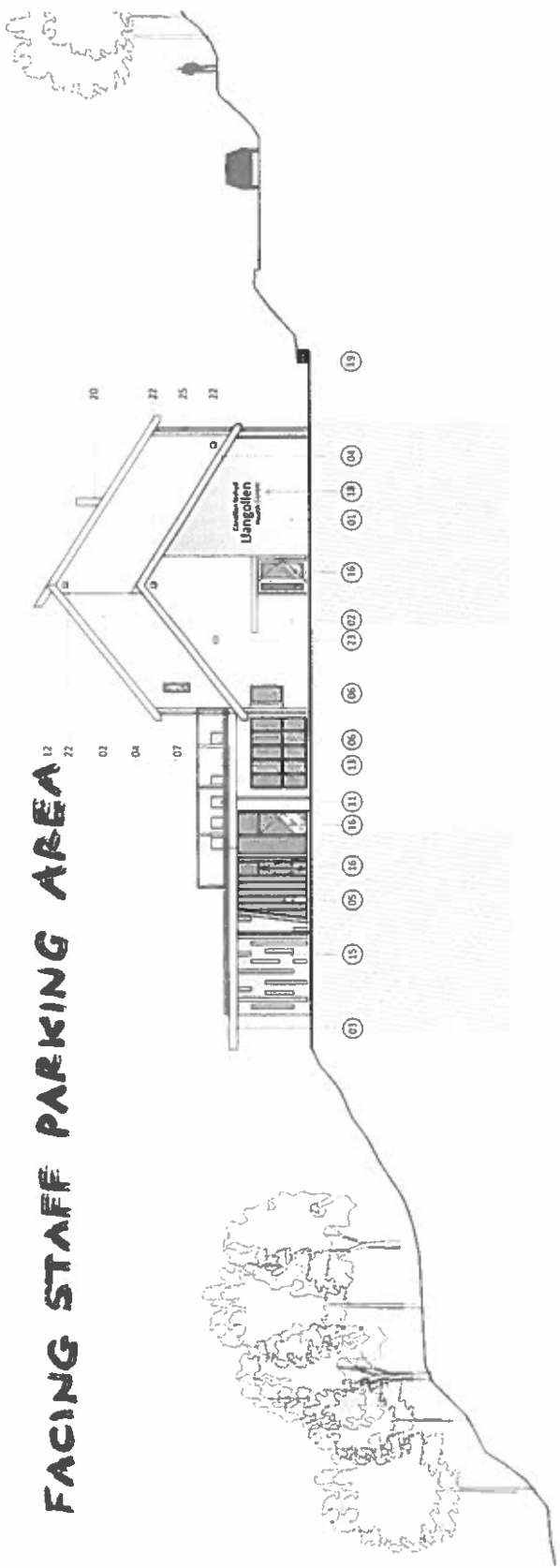
- General Notes:**
1. All elevations are to be finished unless otherwise stated.
 2. All elevations are to be finished unless otherwise stated.
 3. All elevations are to be finished unless otherwise stated.
 4. All elevations are to be finished unless otherwise stated.
 5. All elevations are to be finished unless otherwise stated.
- | | | |
|----|---------|-----------|
| 01 | Roof | Asph/Flt |
| 02 | Walls | Blockwork |
| 03 | Windows | UPVC |
| 04 | Doors | UPVC |
| 05 | Floors | Concrete |
| 06 | Roof | Asph/Flt |
| 07 | Walls | Blockwork |
| 08 | Windows | UPVC |
| 09 | Doors | UPVC |
| 10 | Floors | Concrete |
| 11 | Roof | Asph/Flt |
| 12 | Walls | Blockwork |
| 13 | Windows | UPVC |
| 14 | Doors | UPVC |
| 15 | Floors | Concrete |

FACING MILL STREET



1 - North Elevation

FACING STAFF PARKING AREA



2 - East Elevation

Betsi Cadwaladr University Health Board

Llangollen Medical Centre

Proposed Elevations

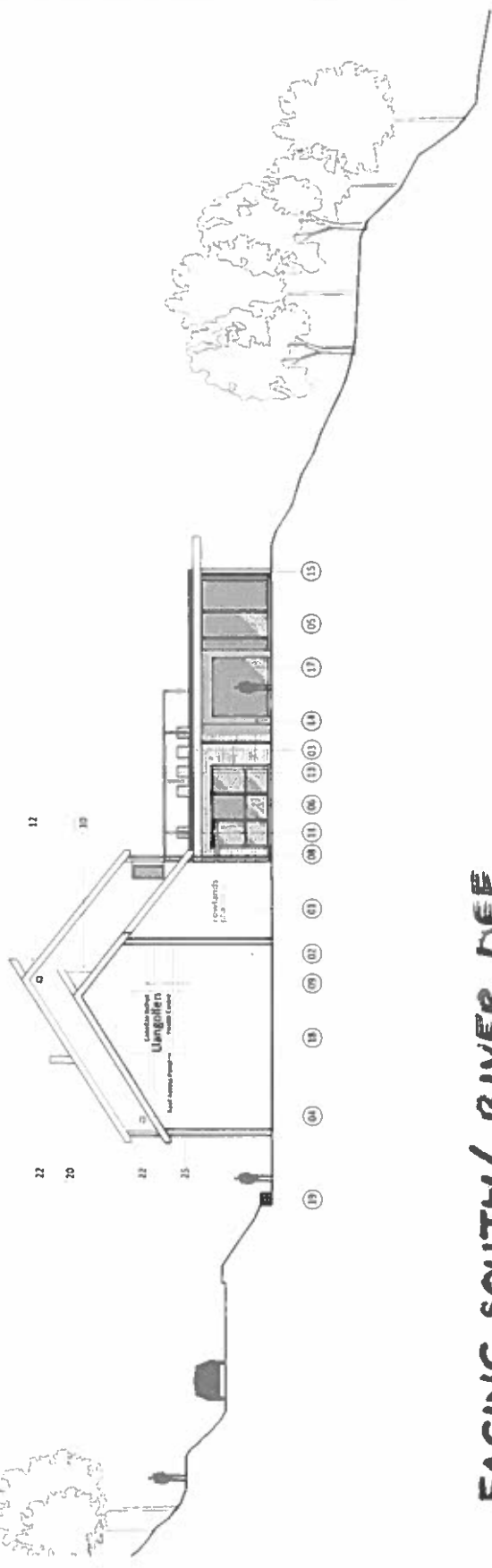
1009/A1 Oct 2011 PW SF Wrexham

10096 GA-01 A

TACP Architects Ltd
2177a Llanerch Road
Llangollen, LL23 7LW
T: 01824 813370
F: 01824 813370
www.tacp-architects.co.uk

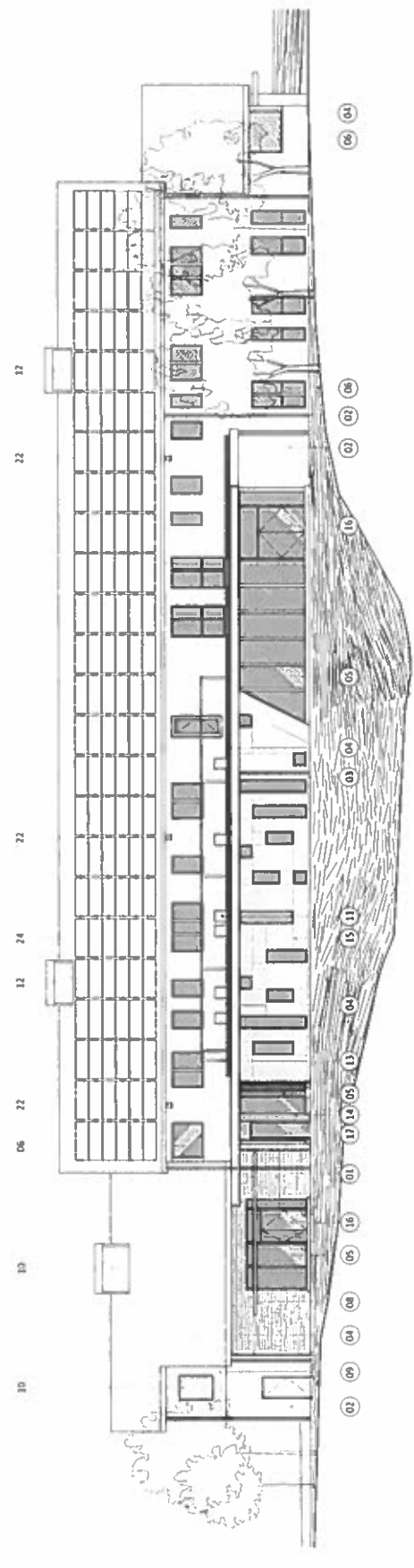
ELEVATION PLANS

FACING PATIENTS PARKING AREA



FACING SOUTH / RIVER DEE

1 - West Elevation



2 - South Elevation

Notes:
 1. All elevations are shown in black ink on white paper.
 2. All elevations are shown on the grid lines of 1/2" increments and may not be used for construction purposes.
 3. All elevations are shown on the grid lines of 1/2" increments and may not be used for construction purposes.
 4. All elevations are shown on the grid lines of 1/2" increments and may not be used for construction purposes.
 5. All elevations are shown on the grid lines of 1/2" increments and may not be used for construction purposes.

01	General Notes	16	Client Name
02	Site Plan	17	Scale: 1:200
03	Site Plan	18	Scale: 1:200
04	Site Plan	19	Scale: 1:200
05	Site Plan	20	Scale: 1:200
06	Site Plan	21	Scale: 1:200
07	Site Plan	22	Scale: 1:200
08	Site Plan	23	Scale: 1:200
09	Site Plan	24	Scale: 1:200
10	Site Plan	25	Scale: 1:200
11	Site Plan	26	Scale: 1:200
12	Site Plan	27	Scale: 1:200
13	Site Plan	28	Scale: 1:200
14	Site Plan	29	Scale: 1:200
15	Site Plan	30	Scale: 1:200

16	Client Name	16	Client Name
17	Scale: 1:200	17	Scale: 1:200
18	Scale: 1:200	18	Scale: 1:200
19	Scale: 1:200	19	Scale: 1:200
20	Scale: 1:200	20	Scale: 1:200
21	Scale: 1:200	21	Scale: 1:200
22	Scale: 1:200	22	Scale: 1:200
23	Scale: 1:200	23	Scale: 1:200
24	Scale: 1:200	24	Scale: 1:200
25	Scale: 1:200	25	Scale: 1:200
26	Scale: 1:200	26	Scale: 1:200
27	Scale: 1:200	27	Scale: 1:200
28	Scale: 1:200	28	Scale: 1:200
29	Scale: 1:200	29	Scale: 1:200
30	Scale: 1:200	30	Scale: 1:200

31	Client Name	31	Client Name
32	Scale: 1:200	32	Scale: 1:200
33	Scale: 1:200	33	Scale: 1:200
34	Scale: 1:200	34	Scale: 1:200
35	Scale: 1:200	35	Scale: 1:200
36	Scale: 1:200	36	Scale: 1:200
37	Scale: 1:200	37	Scale: 1:200
38	Scale: 1:200	38	Scale: 1:200
39	Scale: 1:200	39	Scale: 1:200
40	Scale: 1:200	40	Scale: 1:200

Client: Betsi Cadwaladr University Health Board
 Project: Llangollen Medical Centre
 Proposed Elevations:
 1. 1009-11 OCT 2013
 2. 1009-11 OCT 2013
 3. 1009-11 OCT 2013
 4. 1009-11 OCT 2013
 5. 1009-11 OCT 2013
 6. 1009-11 OCT 2013
 7. 1009-11 OCT 2013
 8. 1009-11 OCT 2013
 9. 1009-11 OCT 2013
 10. 1009-11 OCT 2013
 11. 1009-11 OCT 2013
 12. 1009-11 OCT 2013
 13. 1009-11 OCT 2013
 14. 1009-11 OCT 2013
 15. 1009-11 OCT 2013
 16. 1009-11 OCT 2013
 17. 1009-11 OCT 2013
 18. 1009-11 OCT 2013
 19. 1009-11 OCT 2013
 20. 1009-11 OCT 2013
 21. 1009-11 OCT 2013
 22. 1009-11 OCT 2013
 23. 1009-11 OCT 2013
 24. 1009-11 OCT 2013
 25. 1009-11 OCT 2013
 26. 1009-11 OCT 2013
 27. 1009-11 OCT 2013
 28. 1009-11 OCT 2013
 29. 1009-11 OCT 2013
 30. 1009-11 OCT 2013
 31. 1009-11 OCT 2013
 32. 1009-11 OCT 2013
 33. 1009-11 OCT 2013
 34. 1009-11 OCT 2013
 35. 1009-11 OCT 2013
 36. 1009-11 OCT 2013
 37. 1009-11 OCT 2013
 38. 1009-11 OCT 2013
 39. 1009-11 OCT 2013
 40. 1009-11 OCT 2013



FLOOR PLANS

1. The information on this drawing is for information only and does not constitute a contract. It is subject to the terms and conditions of the contract. The information on this drawing is for information only and does not constitute a contract. It is subject to the terms and conditions of the contract.

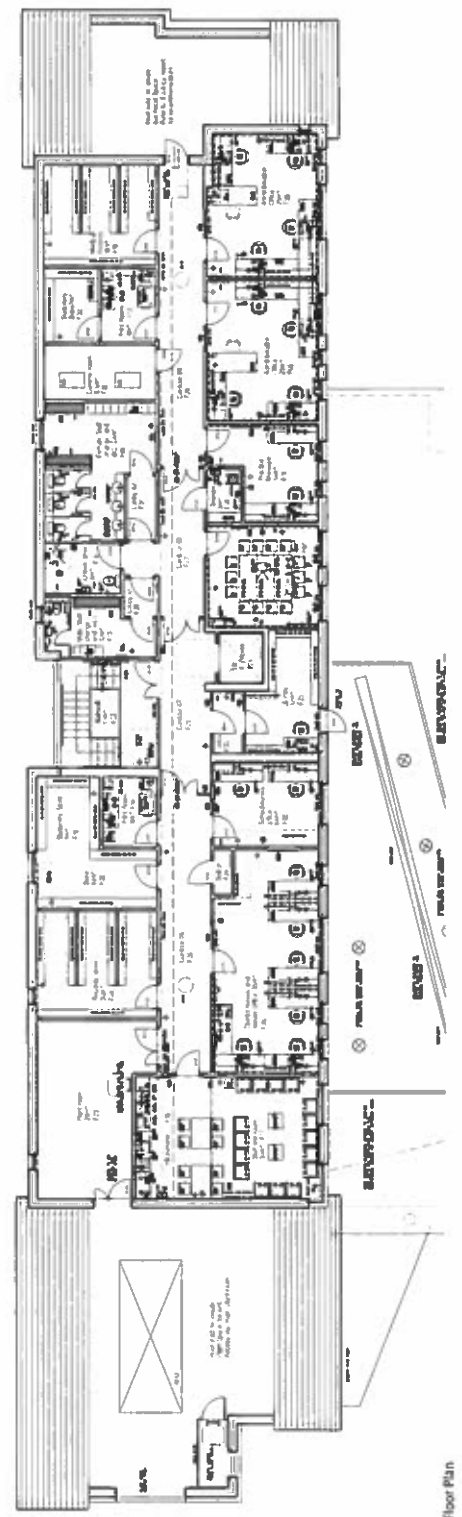
**STAFF
ENTRANCE**

GROUND FLOOR



Ground Floor Plan

FIRST FLOOR



First Floor Plan

Betsi Cadwaladr University Health Board
 Unglenn Medical Centre
 Proposed Floor Plans
 Date: May 2013
 Scale: 1:50
 Project: GA.01
 TACP Architects Ltd
 212A University Road
 Llandudno, Gwynedd
 LL50 2AB
 Tel: 01492 541111
 Fax: 01492 541119
 Email: info@taccp.com

ITEM NO: 1

WARD NO: Llangollen

WARD MEMBER(S): Councillors Stuart Davies & Rhys Hughes

APPLICATION NO: 03/2013/1374/ PF

PROPOSAL: Demolition of existing two-storey former hotel and nightclub.
Erection of new two-storey health centre with pharmacy, health visitor facilities and associated car parking and landscaping

LOCATION: River Lodge Mill Street Llangollen

APPLICANT: Betsi Cadwaladr University Health Board Estates Office

CONSTRAINTS: C2 Flood Zone
World Heritage Site Buffer
SSSI
Special Area of Conservation
Proposed Special Area Cons
British W-ways Cons Major
EA Floodmap Zone 3
EA Floodmap Zone 2
Canal Consultation Zone
AONB

PUBLICITY UNDERTAKEN: Site Notice - Yes
Press Notice - Yes
Neighbour letters - Yes

REASON(S) APPLICATION REPORTED TO COMMITTEE:
Scheme of Delegation Part 2

- Referral by Head of Planning / Development Control Manager

CONSULTATION RESPONSES:

LLANGOLLEN TOWN COUNCIL
"No objections"

LLANGOLLEN CIVIC SOCIETY

In favour, but have reservations in relation to some details – disabled parking bays should be increased to 6; rainwater should be recirculated; the flat roof design on the rear extension is not favoured, is false economy, and aesthetically less attractive than a pitched roof.

**CLWYDIAN RANGE AND DEE VALLEY AREA OF OUTSTANDING NATURAL BEAUTY
JOINT ADVISORY COMMITTEE**

Original comments

"The JAC supports investment in important community infrastructure such as this health centre which will help meet the needs of local people. In addition, the committee welcomes the opportunity presented by this proposed development to enhance an unsightly and semi-derelict site in a key gateway location on the edge of Llangollen. The overall design approach which contains the building within the defined settlement boundary, retains as many existing trees as possible to help soften and screen the site, and the palette of building materials (natural slate, local stone and render) is also supported.

The JAC does have some concerns about the appearance of the building from the A5 to the south, notably the extensive array of solar PV panels on the roof. To reduce visual impact it is recommended that the solar array should be integrated into the roof (in a way which projects less above the roof plane), and the panels carefully specified with dark coloured frames and faces to as far as possible match the natural slate roof and to minimise glint and glare.

The landscaping proposals are supported, but the JAC would suggest that to better integrate the development into its rural setting a traditionally finished new local stone boundary wall should be erected along the A539 frontage.

Finally, the site adjoins the existing Llangollen Woods countryside site managed by Denbighshire Countryside Service, and the JAC would suggest that any opportunities to enhance access to this site as part of the development and to exploit its potential for health and wellbeing initiatives should be explored with the applicants."

Comments on revised plans

"The JAC has no further comments to make on the additional information submitted but would suggest that the proposed footway along the site frontage should be set behind the traditionally finished new local stone boundary wall previously suggested by the committee. This would not only help better integrate the site into its rural setting but also provide a higher level of protection for pedestrians."

NATURAL RESOURCES WALES

Advise that the site is in a Zone A as defined in TAN 15 and as shown on the Development Advice Maps (Zone A relates to land considered to be at little or no risk from flooding, where no justification test is applicable and there is no need to consider flood risk further). NRW recommend conditions to avoid increasing flood risk elsewhere from increased surface water run off, e.g. details of surface water regulation system, and management of overland surface water flow. Encourage use of Sustainable drainage systems.

DWR CYMRU / WELSH WATER

Raise no objections. In relation to sewage treatment, confirm that no problems are envisaged with the Waste Water Treatment Works; water supply would be a matter for Dee Valley Water Company; and in relation to sewerage matters, suggest the inclusion of conditions on any permission to ensure separation of foul and surface water. Advisory notes should be attached to deal with procedures involved in the diversion of a sewer crossing the site.

CLWYD POWYS ARCHAEOLOGICAL TRUST

Note the proposals involve removal of a partly intact late 18th century building and recommend the Applicants complete a low level archaeological study as part of the application.

CADW

No response received.

DENBIGHSHIRE COUNTY COUNCIL CONSULTEES –

Head of Highways and Infrastructure

- Highways Officer

Draws attention to the standard of the access to the site from the town centre for pedestrians and cyclists, which has been raised as an issue throughout the application process. Notes as part of the proposal it is intended to install some new pedestrian crossing points on the footway from Llangollen Bridge to the site, however the width of certain lengths of footway are sub standard. Acknowledges, however that Llangollen is an old town where pedestrian access is not always great and wherever it is proposed to build an edge of town facility like this there will be pedestrian and cycle access issues. Recommends inclusion of conditions if permission is granted, relating to detailing of visibility splays, construction traffic arrangements, proposals for footway and highway works, completion of relevant works prior to commencement of the use,

and arrangements for the management of the proposed car parking areas outside operating hours to allow for the potential use as overspill parking for the town centre.

Pollution Control Officer

Requests the inclusion of a suitable condition to control pollution and noise during construction.

Conservation Architect

Is of the view that the proposals are an improvement on the existing building and will have no detrimental impact on the Outstanding Universal Value of the World Heritage Site, but expresses disappointment that the north and east elevations have little flair and offer a poor sense of arrival into the town and to an important part of the World Heritage Site, and that there are unresolved details in relation to the south elevation.

Corporate Equalities Officer

Has drawn attention to the contents of the Access Statement and suggests detailed attention is necessary in relation to the provision of facilities for persons with disability.

Archaeologist

Suggests there should be recording of the original building as it is demolished, by way of a level 2 survey, which would also include a photographic survey.

Ecologist

No objections provided the recommendations in the ecological report (bat roost and associated measures) and the precautionary measures in the TOLS form are conditioned and followed.

RESPONSE TO PUBLICITY:

Representations received from:-

A. V. Lamb, 3, Bishops Walk, Llangollen
Mr J A Perry, Maes y Bryn, Llangollen
P. Moren, 11, Bishop's Walk, Llangollen

Summary of planning based representations:

Support for principle of development

Welcome redevelopment of a prominent, run down site at the entrance to the town

Visual impact

Scheme needs adequate landscaping and planting to screen car park from Bishop's Walk properties/ controls are necessary over external lighting

Residential amenity

Additional noise and disturbance for residents of Bishop's Walk / construction stage noise and dust

Highways

Need to ensure maintenance of adequate visibility sightlines at point of access with Bishop's Walk, consideration of extending 30mph limit and traffic calming and along A539/ controls over management of car parking areas during and outside opening hours/ general concerns over distance from town centre and main residential areas / concerns over adequacy of footpaths from town centre / need for a convenient footbridge across the river to make site accessible / potential for use of car parking for visitors and tourists at weekends/ is there space to build a bus shelter at the bus stop?

Other matters

Question over historic value of original building / disappointment over failure to replace Community Hospital in Abbey Road / the facility is in the wrong place / the replacement services are not adequate and go against promises made at public meetings / a pharmacy and chemist shop in the Centre would be inconvenient for people living in the town / proposals should be refused until the Health Board come up with proposals more in line with what has been provided in Builth Wells.

EXPIRY DATE OF APPLICATION: 25/12/13

REASONS FOR DELAY IN DECISION (where applicable):

- timing of receipt of representations
- additional information required from applicant
- re-consultations / further publicity necessary on amended plans and / or additional information
- awaiting consideration by Committee

PLANNING ASSESSMENT:

1. THE PROPOSAL:

1.1 Summary of proposals

1.1.1 The application seeks full planning permission to develop a Health Centre, with associated pharmacy, health visitor facilities and staff and visitor parking, on the site currently occupied by the River Lodge Hotel, on Mill Street, Llangollen.

1.1.2 Details of the proposed development, in the form of the layout, elevation and floor plans can be seen on the drawings attached at the front of the report.

1.1.3 The plans involve the following:-

- the demolition of the old hotel buildings, which have a footprint of some 1070 square metres
- the erection of a new building with a footprint of approximately 890 square metres, comprising a two storey section running parallel with Mill Street, and a single storey section at the rear.
- a 38 space patient car park between the building and the western boundary of the site, accessed off Bishop's Walk
- a 35 space staff car park between the building and the eastern boundary of the site, using an improved existing access into the hotel car park off Mill Street.

1.1.4 The application is submitted by TACP Architects Ltd as agents on behalf of Betsi Cadwaladr University Health Board.

1.1.5 The submission contains the relevant forms and plans, and a volume of supporting information, including :

- a 20 page Design and Access Statement
- a Transport Statement
- a Flood Consequence Assessment
- an Archaeological Appraisal
- a Linguistic Impact assessment
- an Ecological Report
- a Heritage Impact Assessment
- a BREEAM pre-assessment
- a Structural Demolition Report
- an Arboricultural Impact Assessment

1.1.6 Basis of the applicant's submissions.

The supporting documents offer a detailed outline of the proposals, and include reference to the following:-

- the scheme involves the relocation of the existing Health Centre on Regent Street, incorporating a range of services and clinics (consultant led outpatients, orthoptist, dietician, District Nurse, midwife, health visitor, etc.) It is stated that the centre will be shared between the Llangollen GP practice, the Health Board, Denbighshire County Council social care and voluntary sector services;
- discussions are taking place with Rowlands Pharmacy about the potential for them to relocate from Regent Street to the new centre;
- The current building has been vacant for at least 6 years and is in a state of disrepair;
- The design has been developed to be in keeping with the locality, a gateway into Llangollen adjacent to a World Heritage Site. Landscaping will help to enhance the development.
- The 30mph limit will be extended further to the east;
- The option of allowing public use of the parking areas at weekends is under discussion with the County Council.

All the application documents are available for public inspection.

1.2 Description of site and surroundings

1.2.1 The application site is located between Mill Street (the A539) and the River Dee, immediately to the east of the housing development at Bishop's Walk. At its nearest point, the site is some 500 metres from Llangollen Bridge.

1.2.2 It is currently occupied by the buildings which comprised the Valley Lodge Hotel, (formerly the Woodlands Hotel), and associated parking areas accessed off Bishop's Walk and Mill Street. The Hotel was developed many years ago, and consisted of older buildings on the western side, which were supplemented by extensions, including a long building running alongside Mill Street. The buildings are in generally poor condition.

1.2.3 The land slopes steeply down to the River Dee from the southern boundary of the site, and on the north side of the A road, slopes up via a heavily wooded area to the Llangollen Canal. The site is visible to varying degrees from the canal towpath through the trees dependent on the time of year, and from the south side of the River Dee in the area around the Coed Afon / Queen Street area.

1.3 Relevant planning constraints/considerations

1.3.1 With the exception of a small part of the proposed staff parking area at the western end of the site, the site lies within the development boundary of Llangollen as shown on the Proposals map accompanying the Local Development Plan.

1.3.2 The site is within the Clwydian Range and Dee Valley Area of Outstanding Natural Beauty, the buffer zone of the Pontysyllte Aqueduct and Llangollen Canal World Heritage Site, a Special Area of Conservation, and Site of Special Scientific Interest.

1.4 Relevant planning history

1.4.1 None of direct relevance to the application.

1.5 Developments/changes since the original submission

1.5.1 None.

1.6 Other relevant background information

1.6.1 Representations received on the application raise basic questions over decisions to close the town's Community Hospital and existing Health Centre, and the extent of facilities to be provided in the new Centre. Respectfully, it is not the role of the County Council as Planning Authority to consider these matters, as these are properly ones for the Health Board and partners in the provision of care to address.

2. DETAILS OF PLANNING HISTORY:

2.1 The Section's records include reference to a number of alterations and extensions to the original buildings, but these are not considered of direct relevance to the planning issues in relation to the current application.

3. RELEVANT POLICIES AND GUIDANCE:

The main planning policies and guidance are considered to be:
Denbighshire Local Development Plan (adopted 4th June 2013)
Policy RD1 – Sustainable development and good standard design
Policy RD5 – The Welsh language and the social and cultural fabric of communities
Policy BSC2 – Brownfield development priority
Policy BSC12 – Community facilities
Policy VOE2 – Area of Outstanding Natural Beauty and Area of Outstanding Beauty
Policy VOE3 – Pontcysyllte Aqueduct and Canal World Heritage Site
Policy VOE6 – Water management
Policy ASA3 – Parking standards

3.1 Supplementary Planning Guidance

No 21 – Parking requirements in new developments
No 26 – Pontcysyllte Aqueduct and Canal World Heritage Site

3.2 Government Policy / Guidance

Planning Policy Wales Edition 5 November 2012
Technical Advice Notes
TAN 5 – Nature Conservation and Planning
TAN 12 – Design
TAN 15 – Development and Flood Risk
TAN 18 – Transport
TAN 22 – Sustainable buildings

4. MAIN PLANNING CONSIDERATIONS:

In terms of general guidance on matters relevant to the consideration of a planning application, Planning Policy Wales Edition 5, 2012 (PPW) confirms the requirement that planning applications 'should be determined in accordance with the approved or adopted development plan for the area, unless material considerations indicate otherwise' (Section 3.1.2). PPW advises that material considerations must be relevant to the regulation of the development and use of land in the public interest, and fairly and reasonably relate to the development concerned., and that these can include the number, size, layout, design and appearance of buildings, the means of access, landscaping, service availability and the impact on the neighbourhood and on the environment (Sections 3.1.3 and 3.1.4).

The following paragraphs in Section 4 of the report therefore refer to the policies of the Denbighshire Local Development Plan, and to the material planning considerations which are considered to be of relevance to the proposal.

4.1 The main land use planning issues in relation to the application are considered to be:

- | | |
|-------|--|
| 4.1.1 | <u>Principle</u> |
| 4.1.2 | <u>Visual amenity/landscape</u> |
| 4.1.3 | <u>Residential amenity</u> |
| 4.1.4 | <u>Ecology</u> |
| 4.1.5 | <u>Drainage (including flooding)</u> |
| 4.1.6 | <u>Highways (including access and parking)</u> |
| 4.1.7 | <u>Archaeology</u> |

4.1.8	<u>Sustainability including codes and water management</u>
4.1.9	<u>Inclusive design</u>
4.1.10	<u>Contaminated land</u>
4.1.11	<u>Area of outstanding natural beauty/Area of outstanding natural beauty</u>
4.1.12	<u>World Heritage Site considerations</u>
4.1.13	<u>Impact on Welsh Language and Social and Cultural Fabric</u>

4.2 In relation to the main planning considerations:

4.2.1 Principle

The main Local Development Plan Policies relevant to the principle of the development are BSC12 and BSC2.

Policy BSC12 is a general policy relating to the provision and retention of community facilities. It refers to local facilities essential to support the sustainability of the County's communities, and offers support for provision of facilities within existing development boundaries.

Policy BSC2 sets a priority for development of previously developed land within development boundaries in lower growth towns such as Llangollen, to minimise pressures on the use of greenfield sites.

With the exception of a small area of the staff parking area, the site is within the development boundary for Llangollen on the proposals map in the Local Development Plan. In Officers' opinion therefore, the principle of a developing a Health Centre on the application site would seem to be acceptable in relation to these policies.

Policy RD1 is a general development control policy which sets a range of 'site specific' tests to be applied to all proposals within development boundaries to determine their acceptability. These tests form the basis of the considerations in the following sections of the report, which Officers would respectfully suggest should determine the acceptability of the particular proposals.

4.2.2 Visual amenity / landscape

Local Development Plan Policy RD 1 test (i) requires due regard to issues of siting, layout, form, character, design, materials, aspect, microclimate and intensity of use of land / buildings and spaces between buildings, which are matters relevant to the visual impact of development; test (vi) requires that development does not unacceptably affect prominent public views into, out of, or across any settlement or area of open countryside; test (vi) requires the incorporation of existing landscape or other features, takes account of site contours, and changes in levels and prominent skylines; and test (xiii) requires the incorporation of suitable landscaping measures to protect and enhance development in its local context.

There are no specific representations in individual representations in objection to the proposals based on potential visual impacts of the development. The comments received welcome the potential for the improvement of the environment at the entrance to the town from the Wrexham direction, and suggest the need for adequate planting to screen the car parking area from Bishop's Walk, and the need to control external lighting. The AONB Committee support the overall design approach, but have concerns over the potential impact of the photovoltaic panels on the south facing roof, which the Conservation Architect suggests needs to be an integral part of the design. The Conservation Architect also expresses disappointment at the detailing of the north and east elevations of the building. The Civic Society has concerns over the flat roof section at the rear of the main building. The AONB Committee suggest provision of a stone boundary wall along the site frontage.

Taking the various comments into account, Officers take the view that the scheme clearly offers potential to address the negative impact of the current development at an important entrance to Llangollen, but there are some reservations over the

detailing of the building and whether full advantage is being taken of this opportunity to improve the quality of the sense of arrival into the town. Ultimately it is suggested that these reservations are not of such significance to oppose the scheme on visual / landscape grounds, but that it would be essential to exercise suitable controls over detailed elements of the design through the use of conditions, covering the use of external materials, landscaping, and external lighting.

4.2.3 Residential amenity

Local Development Plan Policy RD 1 test (i) requires due regard to issues of siting, layout, form, character, design, materials, aspect, microclimate and intensity of use of land / buildings and spaces between buildings, which touch on the potential for impact on residential amenity; test (vi) sets the requirement to assess the impact of development on the amenities of local residents, other land and property users, or characteristics of the locality, in terms of increased activity, disturbance, noise, dust, fumes, litter, drainage, light pollution, etc.

There are local concerns expressed over potential for noise and disturbance from the development, both at construction and operational stage. The Pollution Control Officer suggests the inclusion of condition(s) requiring the agreement of a construction method statement to ensure controls over pollution and noise.

Having regard to the previous uses of the site, and the layout of the proposed development, Officers do not consider the impacts on residential amenity would be unacceptable. The nearest residential properties are on Bishop's Walk, abutting the western boundary of the site, and the proposed patients car parking area. It is understood that the land in that area has been used previously for parking purposes in connection with the hotel. Conditions can be imposed to control construction phase operations to respect concerns over noise and dust, and there are proposals for additional planting between the car parking area and the site boundary with Bishop's Walk.

4.2.4 Ecology

Local Development Plan Policy RD 1 test (iii) requires development to protect and where possible to enhance the local natural and historic environment. Policy VOE 5 requires due assessment of potential impacts on protected species or designated sites of nature conservation, including mitigation proposals, and suggests that permission should not be granted where proposals are likely to cause significant harm to such interests. This reflects policy and guidance in Planning Policy Wales (Section 5.2), current legislation and SPG 18 – Nature Conservation and Species Protection, which stress the importance of the planning system in meeting biodiversity objectives through promoting approaches to development which create new opportunities to enhance biodiversity, prevent biodiversity losses, or compensate for losses where damage is unavoidable.

There are no individual representations in relation to potential impacts on ecological interests. The County Ecologist has no objections subject to the implementation of the recommendations in the submitted ecological report.

Officers' conclusion is that there is no basis for concern on ecological impacts, provided a standard condition is attached to any permission requiring the implementation of the measures in the ecological report.

4.2.5 Drainage (including flooding)

Local Development Plan Policy RD 1 test (xi) requires that development satisfies physical or natural environmental considerations relating to drainage and liability to flooding. Planning Policy Wales Section 13.2 identifies flood risk as a material consideration in planning and along with TAN 15 – Development and Flood Risk,

provides a detailed framework within which risks arising from different sources of flooding should be assessed.

Natural Resources Wales confirm the site is in an area which is not susceptible to flooding, and recommend only that suitable measures be taken in the design of the drainage scheme, to limit surface water runoff. Welsh Water / Dwr Cymru have no objections subject to conditions ensuring separate foul and surface water systems, and advisory notes relating to the diversion of a sewer crossing the site.

Officers suggest the matters raised by Natural Resources Wales and Welsh Water / Dwr Cymru can be accommodated by the inclusion of suitably worded planning conditions and notes to the applicants if permission is granted.

4.2.6 Highways (including access and parking)

Local Development Plan Policy RD 1 tests (vii) and (viii) oblige provision of safe and convenient access for a range of users, together with adequate parking, services and manoeuvring space; and consideration of the impact of development on the local highway network Policy ASA 3 requires adequate parking spaces for cars and bicycles in connection with development proposals, and outlines considerations to be given to factors relevant to the application of standards. These policies reflect general principles set out in Planning Policy Wales (Section 8) and TAN 18 – Transport, in support of sustainable development.

There are a number of comments raised in relation to highway matters. Private individuals express concerns over the distance of the site from the town centre, the adequacy of pedestrian links from the centre and residential areas, a need for consideration of traffic calming and speed limit changes, visibility requirements, a suggestion for a new footbridge over the River Dee and use of the parking areas for visitors at weekends. The Civic Society request additional disabled bays. The Highways Officer is aware of the standard of the highway network between the town centre and the site, but recognises that there are likely to be pedestrian and cycle access issues on any edge of town facility like this, and recommends that a number of conditions be imposed to deal with detailed matters if a permission is granted.

In Officers' opinion, there are negative and positive factors to weigh in relation to the highway implications of the proposals, as set out in the preceding paragraph. The site is not easily accessible to pedestrians as a consequence of limitations on footway widths along sections of Mill Street, and there are only limited measures that can be taken to improve the situation. The site is also some distance from residential areas on the south side of the town, and the limitations on public transport services mean that there would be an inevitable reliance on the motor car as the main mode of transport to the Centre. To balance these factors is the fact that there are very limited (if any) options in terms of available / suitable sites in the town of the size capable of accommodating the development, and there is a natural desire to ensure that the town retains a modern health centre facility – albeit in a peripheral location, with limitations on ease of access. Ultimately Officers accept there are reservations over the accessibility of the site, but that set against the more general community benefits likely to arise from the scheme, these would not justify a refusal recommendation on highway grounds.

4.2.7 Archaeology

Local Development Plan Policy RD 1 test (iii) requires development to protect and where possible to enhance the local natural and historic environment.

Planning Policy Wales (Section 6.5) sets out a range of considerations to be given to the assessment of archaeological issues, including approaches to recording and investigating potential remains in conjunction with new development. Welsh Office Circular 60/96 provided earlier advice on the importance of archaeological matters in

the planning process, stressing the need for due assessment of the nature and importance of any features and their setting.

There are no individual representations raising archaeological issues. The County Archaeologist and CPAT have suggested any permission include a condition requiring a suitable type of survey of the older section of building remaining on the site, as it is demolished.

Subject to inclusion of the type of condition suggested by the Archaeologist and CPAT, it is concluded that archaeological interests would not be adversely affected by the development.

4.2.8 Sustainability including codes and water management

Sustainable development is a key part of the Local Development Plan Strategy, and has been applied to the land use policies and allocations in the Plan. Planning Policy Wales (Section 4.12) sets out Welsh Government's drive to ensure that development proposals mitigate the causes of climate change by minimising carbon and other greenhouse gas emissions associated with their design, construction, use, and eventual demolition, and outlines the requirement to move towards more sustainable and zero carbon buildings in Wales through application of specific standards for construction. The Sustainability Code requirements are referred to in TAN 22 Sustainable Buildings, which confirms the obligation on applicants to demonstrate that building(s) can meet specific standards of construction and carbon emission levels.

In the case of this submission, the application is accompanied by a Design and Access Statement and Code for Sustainable Homes Pre-Assessment which demonstrates that the requirements of TAN 12 and TAN 22 can be satisfactorily addressed. The Water Conservation Statement provides an outline of steps to be taken to conserve and use water as part of the development. Suitably worded conditions can be attached to ensure development is carried out in accordance with the requirements of the Sustainability Code.

4.2.9 Inclusive design

Local Development Plan Policy RD1 test (vii) sets out the need to provide safe and convenient access for disabled persons. The requirement to embody the principles of inclusive design in development proposals is set out in Planning Policy Wales (Section 3.4) which outlines accessibility considerations to be given to all development proposals, reflected in TAN 12 Design, TAN 18 Transport, and through the obligation to submit Access Statements as part of most planning applications.

Suggestions have been made by the Civic Society to increase the number of disabled parking spaces to 6. The Equalities Officer is anxious to ensure adequate measures are taken in the detailed design of the Centre to accommodate a full range of facilities for persons with disability. The applicants agents have confirmed that in the course of detailing up the proposals, due regard will be had to legislation and the needs of various groups.

Officers' view on the issue is that there is a clear responsibility on the developers of such a significant facility aimed at dealing with a range of health and mobility issues, to incorporate the relevant range of measures to provide a high standard of inclusive design. Nonetheless, a planning condition and suitable note to applicant can be attached to oblige submission of the detailed measures proposed.

4.2.10 Contaminated land

The need to consider the potential impact of contaminated land in relation to development proposals is contained in Chapter 13 of Planning Policy Wales, which

requires planning decisions to take into account the potential hazard that contamination presents to the development itself, its occupants and the local environment; and assessment of investigation into contamination and remedial measures to deal with any contamination. Where there may be contamination issues, the Council must require details prior to determination of an application to enable the beneficial use of land. Planning permission may be granted subject to conditions where acceptable remedial measures can overcome such contamination. Otherwise, if contamination can not be overcome satisfactorily, permission should be refused.

In this instance, there are no representations received which raise issues relating to contaminated land.

Notwithstanding the above, given that sections of the site lie on the line of the old Llangollen – Wrexham railway, Officers suggest it would be necessary to condition any permission to oblige appropriate actions in the event of any contamination being discovered during site works.

4.2.11 Area of Outstanding Natural Beauty

Policy VOE 2 requires assessment of the impact of development within or affecting the AONB and AOB, and indicates this should be resisted where it would cause unacceptable harm to the character and appearance of the landscape and the reasons for its designation.

There are no objections raised specifically in relation to impacts on the AONB. The AONB Committee view the development as an opportunity to secure environmental gain, subject to control over elements of detail.

Officers' conclusion is that far from causing unacceptable harm to the character and appearance of the landscape, the scheme offers a real prospect of improving the quality of development in a significant location at the entrance to the town, and is therefore in compliance with Policy VOE2.

4.2.12 World Heritage Site considerations

Policy VOE3 of the Local Development Plan relates specifically to development which may impact on the Pontcysyllte Aqueduct and Canal World Heritage Site and its Outstanding Universal Value, and in particular the authenticity and integrity of the attributes which justified its designation. It indicates that development which would lead to harm to the attributes will not be permitted, and refers to the setting of the World Heritage Site as a key material consideration. SPG 26 – Pontcysyllte Aqueduct and Canal World Heritage Site provides guidance on the determination of applications that may affect the Site and its setting. Planning Policy Wales (Section 6.5.24) reiterates that the World Heritage Site is a material consideration in the determination of applications, and that impact on the site and its setting should be carefully considered.

There are no representations raising concerns over the impact of the development on the World Heritage Site, including its buffer zone. CADW have not responded to consultation. The Conservation Architect concludes that the proposals will not have a detrimental impact on the Outstanding Universal Value of the World Heritage Site.

In Officers' opinion, the proposals are not likely to result in any harm to the World Heritage Site or its setting, and offer a positive opportunity to enhance the character of this area close to the canal itself.

4.2.13 Impact on Welsh Language and Social and Cultural Fabric

The requirement to consider the needs and interests of the Welsh Language is set out in Policy RD 5 in the Local Development Plan.

The Linguistic Impact Statement submitted with the application concludes that the proposals would have no negative impact on the linguistic balance or Welsh Language, and suggests minor positive impacts could be identified. The Health Board have a Welsh Language Scheme in place setting out their positive / proactive approach to the use of the Welsh language.

In Officers' opinion the proposed development on this site would not by virtue of its size, scale, and location cause significant harm to the character and language balance of the community. The site is already developed and the proposed use is one offering wide community benefits, likely to have no adverse impact on the language and social fabric.

5. SUMMARY AND CONCLUSIONS:

5.1 The application proposes the development of a new Health Centre on a site within the town's development boundary, currently occupied by a semi derelict former hotel.

5.2 The proposed Centre would replace the existing facility on Regent Street and would provide a wide range of medical and social care services, in a modern purpose built building.

5.3 Responses to the application are largely positive, reflecting the desire to improve the quality of the environment on a significant approach to the town from the Wrexham direction. There are however reservations over detailed aspects of the scheme, in particular concerns over the accessibility of the site by pedestrians, the inevitable reliance on the motor car to access it, and to elements of the design of the building.

5.4 Officers conclusion is that the accessibility issues are a negative factor to consider here, but ultimately there is a clear wider public benefit from the provision of the facility which merits a positive recommendation to grant permission, subject to the inclusion of a number of conditions.

RECOMMENDATION: GRANT- for the following reasons:-

1. The development hereby permitted shall be begun before the expiration of five years from the date of this permission.
2. No development shall be permitted to take place on the external walls or roofs of any of the buildings hereby permitted, until the written approval of the local planning authority has been obtained to the type, colour and finish of the materials to be used. The development shall take place strictly in accordance with the approved materials.
3. Notwithstanding the submitted plans, no development shall be permitted to commence on the south elevation roof of the two storey building (incorporating the photo voltaic panels), or the flat roof of the rear extension (incorporating the roof plant) until the written approval of the Local Planning Authority has been obtained to the detailing thereof.
4. The visibility splays shown on the approved plans shall at all times be kept free of any planting, tree or shrub growth, or any other obstruction in excess of 1.05 metres above the level of the adjoining carriageway.
5. In relation to the carrying out of site development works, none shall be permitted to take place until the written approval of the Local Planning Authority has been obtained in relation to the site compound location and vehicular access, a traffic management scheme, vehicle wheel washing facilities, hours and days of operation and the management and operation of construction vehicles. The works shall be carried out strictly in accordance with the approved details.
6. No development shall be permitted to commence until the written approval of the Local Planning Authority has been obtained to full details of the alterations to the existing vehicular accesses, the relocation of the 30mph speed limit, bus stops, road markings, retaining structures,

footway improvements and associated highway works as indicated on the approved plans, including the number of disabled parking bays, the detailed design, layout, construction, and drainage for the site. The development shall proceed strictly in accordance with the approved plans before the development is brought into use.

7. Facilities shall be provided and retained within the site for the loading, unloading, parking and turning of vehicles in accordance with the approved plan and shall be marked out and completed prior to the proposed development being brought into use.

8. The Centre shall not be brought into use until the written approval of the Local Planning Authority has been obtained to arrangements for the public use of the car parking areas outside core operating hours.

9. Development shall not be permitted to begin on the building until the written approval of the local planning authority has been obtained to the detailed proposals for provision of facilities for persons with disability, including the means of access into and within the Centre, and the range of facilities to be provided within the building. The scheme shall include details of gradients of access ways, surfacing, lighting and signage. The agreed scheme shall be implemented before the building is brought into use.

10. Land drainage run-off shall not be permitted to discharge, either directly or indirectly, into the public sewerage system.

11. Foul water and surface water discharges shall be drained separately from the site.

12. No surface water shall be allowed to connect, either directly or indirectly, to the public sewerage system unless otherwise approved in writing by the Local Planning Authority.

13. The development hereby permitted shall not be commenced until such time as a detailed scheme for the provision and implementation of a surface water regulation system has been submitted to and approved in writing by the Local Planning Authority, and such scheme shall include an assessment of the potential for disposing of surface water by means of Sustainable Drainage Systems (SuDS).

14. The development hereby permitted shall not be commenced until such time as a scheme for the management of overland flow from surcharging of the site's surface water drainage system has been submitted to and approved in writing by the Local Planning Authority.

15. All planting, seeding, or turfing, comprised in the landscaping scheme shall be carried out no later than the first planting and seeding season following the completion of the development. Any trees or plants which, within a period of five years from the completion of the development, die, are removed or become seriously damaged or diseased shall be replaced in the next planting season with others of similar size and species, unless the local planning authority gives written approval to any variation.

16. Notwithstanding the submitted details, no external lighting shall be permitted without the formal written approval of the local planning authority to the detailing of the proposed lighting (including the type, the means and extent of lumination and anticipated spread of light). The scheme shall be implemented strictly in accordance with the approved details.

17. Noise emanating from any plant or equipment used in connection with the Health Centre shall not be permitted to exceed a LAeq at least 5dB below the lowest background noise levels at the quietest time which the plant or equipment is running, at the nearest noise sensitive properties; and shall not exceed 50dB (A) at any time in any external public areas within the site.

18. The development shall be carried out in strict compliance with the recommendations in the Ecological Report, including the inclusion of a bat roost and associated measures, and the precautionary measures listed in Section 14 of the TOLS form attached to this Certificate of Decision.

19. In relation to separate Licencing requirements in connection with development affecting protected species, as identified in the Ecological Report, no activities likely to impact on protected species shall be permitted to commence unless the local planning authority has been provided with either:

a) A licence issued by Natural Resources Wales pursuant to Regulation 53 of The Conservation of Habitats and Species Regulations 2010 authorising the specified activity/development to go ahead along with the approved Method Statement; or

b) A statement in writing from the relevant licencing body to the effect that it does not consider that the specified activity/development will require a licence.

The reason(s) for the condition(s) is(are):-

1. To comply with the provisions of Section 91 of the Town and Country Planning Act 1990.
2. In the interests of visual amenity.
3. In the interests of visual amenity.
4. In the interest of the free and safe movement and traffic on the adjacent highway and to ensure the formation of a safe and satisfactory access.
5. In the interests of highway safety.
6. In the interest of the free and safe movement of traffic on the adjacent highway and in the interests of highway safety.
7. To provide for the parking of vehicles clear of the highway and to ensure that reversing of vehicles into or from the highway is rendered unnecessary in the interest of traffic safety.
8. In order to provide additional parking capacity for the town at peak periods.
9. In order to ensure adequate facilities are provided for the needs of disabled persons.
10. To prevent hydraulic overloading of the public sewerage system.
11. To protect the integrity of the public sewerage system.
12. To prevent hydraulic overloading of the public sewerage system, to protect the health and safety of existing residents and to ensure no detriment to the environment.
13. To prevent flooding by ensuring the satisfactory storage of and disposal of surface water from the site.
14. To reduce the risk of flooding to the proposed development.
15. In the interests of visual amenity.
16. In the interests of visual and residential amenity.
17. In the interests of residential amenity and users of the Centre.
18. In order to protect ecological interests and protected species.
19. In order to protect ecological interests and protected species.

NOTES TO APPLICANT:

Your attention is drawn to the attached Highway Supplementary Notes Nos. 1, 3, 4, 5 & 10.
Your attention is drawn to the attached Part N form (New Road and Street Works Act 1991).
You are encouraged to contact the County Council's Countryside Section to discuss opportunities for enhancing access to the adjoining Llangollen Woods Countryside site, which is managed by that service (Contact details – Huw Rees, Countryside Services Manager – 01824-708228).

Your attention is drawn to the attached responses from Welsh Water / Dwr Cymru relating to processes in connection with the diversion of the public sewer within the site, and from Natural Resources Wales in relation to surface water drainage arrangements.

In connection with Condition 8, you should contact Mike Jones, the Council's Traffic, Parking and Road Safety manager to discuss the mechanism for management of the parking areas outside the Centre's core operating times.

In connection with Condition 9, you should contact Karen Beattie, the Council's Equalities Officer to discuss the approach to provision of facilities for disabled persons.